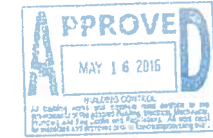


LOCATION PLAN
SCALE: 1/32" = 1'-0"

DRAWING INDEX	
ARCHITECTURAL DRAWINGS	
DWG #	DRAWING TITLE
A0.0	COVER SHEET & LOCATION PLAN
A0.1	GENERAL NOTES
A1.1	TUB ROOM AREA C: FLOOR PLANS/GENERAL NOTES
A1.2	WASHROOM AREA A: FLOOR PLANS/GENERAL NOTES

ISSUED FOR PERMITTED DEVELOPMENT APPROVAL
LEFROY HOUSE CARE COMMUNITY
WASHROOM & TUB ROOM REFURBISHMENT PROJECT

SANDY'S PARISH
 Prepared by
MINISTRY OF PUBLIC WORKS
 ARCHITECTS SECTION
 for
MINISTRY OF HEALTH
 LEFROY HOUSE CARE COMMUNITY



DEPARTMENT OF HEALTH
 ENVIRONMENTAL CONTROL
 TO OBTAIN YOUR OCCUPANCY
 CERTIFICATE, ALL PLUMBING AND
 CEILING WORK MUST BE APPROVED BY
 ENVIRONMENTAL HEALTH ENGINEER
 AND PLUMBING INSPECTOR.
 TELEPHONE: 278-5338





KEY PLAN

ISSUE / REVISION	
No.	Date

SCALE: AS NOTED

SURVEY
Prepared By: MPW Date: UNKNOWN

DESIGN
Prepared By: SS Date: NOVEMBER 2015
Checked By: AM Date: JANUARY 2015

DRAWING
Prepared By: SS Date: DECEMBER 2015
Checked By: AM Date: JANUARY 2015

Approved By: AM

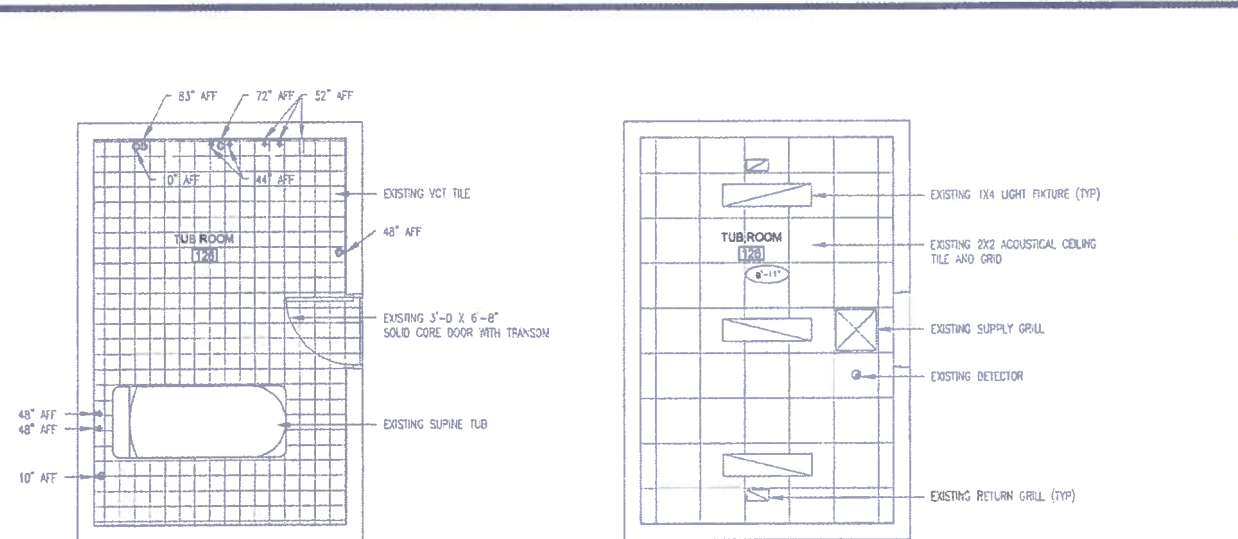
Project Number: 16 217 37

Project Title: **APPROVE**
TUB ROOM REFURBISHMENT (AREA-C)
MAY 16 2016

LEROY HOUSE CARE HOME
IRELAND ISLAND SOUTH
47 HETTON ROAD,
SANDYS BAY.

Sheet Title:
FLOOR PLANS & GENERAL NOTES

Revision: Sheet Number: **A1.1**



1 EXISTING PARTIAL PLAN - DEMOLITION
A1.1 SCALE: 1/4" = 1'-0"

2 EXISTING PARTIAL RCP - DEMOLITION
A1.1 SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES :

1. INTERRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT MANAGER AND SHALL BE KEPT TO A MINIMUM.
2. REMOVE ALL EXISTING BATHROOM FIXTURES
3. ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING IN COMPLIANCE WITH APPLICABLE CODES. REFER TO ENGINEERS DRAWINGS.
4. ALL MATERIALS CONTAINING ASBESTOS AND IDENTIFIED FOR DEMOLITION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND WITH BERMUUDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION.
5. PROTECT ALL EXISTING WORK. ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR.
6. ANY DEMOLITION OCCURRING BEYOND THE SCOPE IDENTIFIED, MUST BE REFINISHED TO ORIGINAL CONDITION AT THE GENERAL CONTRACTORS EXPENSE.
7. THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MINIMUM TO NO INTERRUPTION WITH THE FOLLOWING SERVICES UNLESS NOTIFIED IN ADVANCE: LIFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUMBING, IT NETWORK SECURITY AND LIGHTING
8. REFER TO ENGINEERED ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES AND ITEMS TO BE REMOVED.

DEMOLITION NOTES :

- FLOORS:
1. REMOVE EXISTING TILE AND TILE ADHESIVE SUBSTRATE.
 2. MAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND PORCELAIN TILE.
 3. THE CONCRETE SLAB SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE), SMOOTH AND LEVEL.
 4. ENSURE INTEGRITY OF EXISTING FLOOR DRAIN. FIT WITH NEW BRASS OR CHROME PLATED STRAINER.
 5. REPAIR AS NECESSARY TO ENSURE DRAINAGE TO STRAINER.
 6. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING
 7. REMOVE AND RETURN TO THE CLIENT THE "SUPINE TUB"
- WALLS:
1. REMOVE ALL HARDWARE PROTRUSIONS AND DEVICES
 2. CHECK FOR CRACKS AND Voids IN EXISTING SURFACE AND REPAIR AS NECESSARY.
 3. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
 4. REMOVE BASEBOARDS
 5. REMOVE REDUNDANT ELECTRICAL AND PLUMBING LINES.
 6. REMOVE AND RETURN TO THE CLIENT WALL THE "MOUNTED SHOWER FAUCET UNIT"
 7. REMOVE AND RETURN TO THE CLIENT THE "ASSISTANT CALL BUZZER"
 8. REMOVE WITH CARE AND RETURN TO THE CLIENT ALL MILLWORK SECURED TO THE WALLS
- CEILING:
1. REMOVE EXISTING ACOUSTICAL CEILING GRID AND TILES
 2. REMOVE AND RETURN TO THE CLIENT THE EXISTING 1X4 LIGHT FIXTURES
- DOOR/FRAME & HARDWARE:
1. REMOVE EXISTING FINISH PAINT COAT. SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
 2. REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING

SYMBOL LEGEND :

- ⊕ EXISTING RECEPTACLE
- EXISTING FLOOR DRAIN
- ⊕ EXISTING PLUMBING FIXTURE
- EXISTING PLUMBING PIPE PROTRUDING FROM THE WALL

DOOR SCHEDULE :

- DR DOOR - 01
1. REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE TO BE CLEANED/POLISHED
 2. APPLY SEMI-GLOSS ALKYL ENAMEL PAINT MIN. (2) COATS COVER

OWNER TO SUPPLY AND INSTALL THE FOLLOWING:

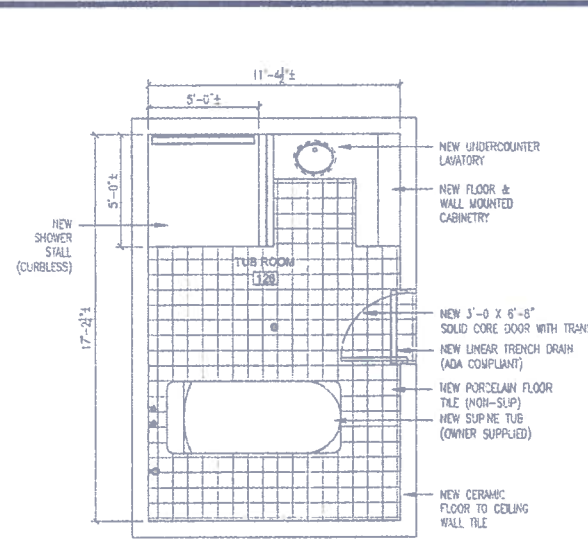
1. BATHROOM TUB
- 2.

*THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFIED ITEMS OR APPROVED EQUAL

ROOM FINISH SCHEDULE							
ROOM NAME	ROOM#	DEMOTATION	FLOOR	DEMOTATION	WALLS	CEILING	NOTES
						MATERIAL	
TUB ROOM	126		PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT; METAL TRANSITION STRIPS		PRIME AND PAINT	(2) COATS OF PAINT 9'-11"	ALL EXPOSED WALLS TO BE PAINTED
TUB ROOM (SHOWER ENCLOSURE)	126		PORCELAIN NON SLIP FLOOR TILE; EPOXY GROUT		CT1: CERAMIC WALL TILE, VINYL EDGE STRIPS; EPOXY GROUT LINES;	(2) COATS OF PAINT 9'-11"	ALL EXPOSED WALLS TO BE PAINTED

NOTES:

- 1) STANDARD TILE LAYOUT PATTERN TO INCORPORATE 1/8" GROUT LINES (FLOOR/WALL)
- 2) FLOOR MEMBRANE - DITRA SCHLUTER MEMBRANE
- 3) INSTALL NEW PORCELAIN TILE (TILE LAYOUT SHALL BE SYMMETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH 1/8" STRAIGHT & EVEN GROUT LINES. THIN-SET ADHESIVE AND GROUT SHALL BE PER MANUFACTURERS SPECIFICATIONS FOR AREAS EXPOSED TO WATER
- 4) METAL TRANSITION STRIPS - NO MORE THAN 1/8" HEIGHT DIFFERENCE FOR FINISH FLOOR HEIGHTS
- 5) WALL TILE TO TERMINATE 96" ABOVE THE FINISH FLOOR WHERE SPECIFIED
- 6) APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED
- 7) PRIMER - CONCRETE & MASONRY SEALER
- 8) WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LIVING COLOR (OR APPROVED EQUAL), EGG SHELL FINISH; COLOR TO BE DETERMINED
- 9) CEILING PAINT - ROLL-A-TEX (FINE) OR SANDTEX WHITE (OR APPROVED EQUAL)



3 PROPOSED PARTIAL PLAN
A1.1 SCALE: 1/4" = 1'-0"

FURNISHINGS + EQUIPMENT SPECIFICATIONS :

GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING U.N.O:

1. SHOWER FAUCET
 - 1.1 KOHLER PURIST MASTER SHOWER XY1 1/2" THERMOSTATIC VALVE & TRIM
 - 1.2 KOHLER MASTER SHOWER 2 OR 2 WAY TRANSFER VALVE & TRIM
2. SHOWER DRAIN
 - 2.1 (2) SCHLUTER-KERDI LINE FLOOR DRAINS
3. SHOWER HEAD
 - 3.1 KOHLER PURIST SINGLE-FUNCTION SHOWERHEAD W/ KATALYST SPRAY (SHOWER ARM & FLANGE)
 - 3.2 KOHLER FLIPSIDE 01 HANDSHOWER, 30" SLIDE BAR, 72" MASTERSHOWER HANDSHOWER HOUSE PURIST WALL-MOUNT SUPPLY ELBOW
4. SHOWER CURTAIN ROD
 - 4.1 ALUMINIUM HOSPITAL GRADE CURTAIN TRACK SYSTEM (MIN. 1-3/8" BY 3/4")
 - 4.2 SWAP PANEL STYLE HOSPITAL CUBICLE CURTAINS
5. RAILS AND GRAB BARS
 - 5.1 KOHLER BELLY 54" HANDRAILS
 - 5.2 24" TOWEL BAR
 - 5.3 COUNTER AND SINK
 - 6.1 KOHLER LADENA UNDERCOUNTER LAVATORY
 - 6.2 MONTE SOLID SURFACE COUNTER

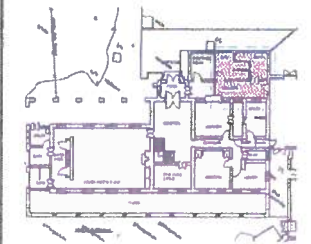
4 PARTIAL REFLECTED CEILING PLAN
A1.1 SCALE: 1/4" = 1'-0"

DRAWING LEGEND :

- ▨ EXISTING BASE BUILDING
- ▨ NEW CONSTRUCTION (INTERIOR WALLS SHALL BE 5/8" PLASTER)
- DENOTES: CEILING HEIGHT
- XX DENOTES: FURNISHINGS & EQUIPMENT SPECIFICATIONS
- DR DENOTES: DOOR SYMBOL
- CT DENOTES: CERAMIC TILE
- PT DENOTES: PORCELAIN TILE

GENERAL CONSTRUCTION NOTES :

1. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL NOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FIELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS
2. THIS DRAWING IS NOT TO BE SCALED.
3. PRIOR TO ORDERING OR FABRICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIONS
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MANUFACTURERS PLUMBING EQUIPMENT SPECIFICATIONS FOR REVIEW & APPROVAL.
5. THE CONTRACTOR SHALL INSTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAINED AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
6. ALL FURNISHINGS/EQUIPMENT/FIXTURES SHALL BE FASTENED SECURELY: LEVEL AND PLUMB TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
7. ALL FURNISHINGS, FIXTURES AND EQUIPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS AND SPECIFICATIONS.
8. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
9. NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COORDINATED WITH THE ELECTRICAL DRAWINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
10. GENERAL CONTRACTOR TO REVIEW ALL MATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION.
11. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFIED OTHERWISE
12. ALL GENERAL CONTRACTORS MARKUPS AND OVERHEADS SHOULD BE INCLUDED IN THE COST.
13. THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE, BUT SHOULD BE REMOVED AT REGULAR INTERVALS AND DISPOSED OF IN A LAWFUL MANNER.
14. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE, FROM DAMAGE ARISING OUT OF THE WORKS.
15. ANY DAMAGED ARISING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESMAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
16. THE GENERAL CONTRACTOR SHALL INSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAINING ACCESS.



KEY PLAN

ISSUE / REVISION

No.	Date

1 Issued for PLANNING APPR. FEB 2016

SCALE: AS NOTED

SURVEY
Prepared By: MPW Date: UNKNOWN

DESIGN
Prepared By: SS Date: MARCH 2015

Checked By: AM Date: SEPTEMBER 2015

DRAWING
Prepared By: SS Date: SEPTEMBER 2015

Checked By: AM Date: SEPTEMBER 2015

Approved By: AM
Project Number: J87157

Project Title: WASHROOM REFURISHMENT (AREA-A)

LEFROY HOUSE CARE COMMUNITY
1000 HAMILTON ROAD, SOUTH
BY REDON ROAD,
SANDTIS AREA.

Sheet Title: FLOOR PLANS

Revision: Sheet Number: A1.2

APPROVED
MAY 16 2016

RECEIVED
FEB 25 2016

FURNISHINGS + EQUIPMENT SPECIFICATIONS :

GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING

1. TOILETS & TOILET SEATS
 - 1.1. REMOVE AND DISCARD TWO (2) EXISTING TOILETS
 - 1.2. INSTALL TWO (2) NEW WHITE ADA COMPLIANT 2-PIECE TOILETS; (OWNER SUPPLIED)
 - KOHLER-HIGHLINE CLASSIC COMFORT HEIGHT, 2-PIECE ELONGATED TOILET, 1.28 GPF (OR APPROVED EQUAL)
 - KOHLER/K-4688/DAKOTI ELONGATED TOILET SEAT
2. SINKS
 - 2.1. REMOVE AND DISCARD TWO (2) EXISTING SINKS & FAUCETS; (OWNER SUPPLIED)
 - 2.2. INSTALL TWO (2) NEW WHITE ADA COMPLIANT WALL MOUNTED SINKS & FAUCETS; (OWNER SUPPLIED)
 - KOHLER-PANOR WALL-MOUNTED SINK WITH 8-INCH CENTERS (OR APPROVED EQUAL)
 - AMERICAN STANDARD-JOCELYN, ZHANDLE, BINCH WIDESPREAD, HIGH ARC BATHROOM FAUCET (OR APPROVED EQUAL)
3. GRAB BARS
 - 3.1. INSTALL TWO 42"-48" GRAB BARS ON THE WALLS OF THE EXISTING TOILET STALL AND ONE 24" AT THE BACK OF THE STALL.
 - 3.2. SPECIFICATIONS: (OWNER SUPPLIED)
 - GRAB BAR DIAMETER (OR CROSS SECTION IF NON CIRCULAR) OF 1-1/4 TO 2" INCHES AND A CLEARANCE OF 1-1/2" BETWEEN THE GRAB BAR AND THE WALL
 - FINISH - BRUSH METAL
 - 42"-48" GRAB BARS
 - 24" GRAB BAR
 - 18" VERTICAL GRAB BAR
4. STAINLESS STEEL AREA DRAIN
 - 4.1. 6" AREA DRAIN (ADJUSTABLE TOP)
 - 4.2. PERFORATED LIGHT DUTY 12 GAUGE GRATE
5. MIRROR
 - 5.1. STAINLESS STEEL CHANNEL FRAME
 - 5.2. CONCEALED WALL HANGERS
 - 5.3. 24"W x 30"H (OVERALL SIZE)

OWNER TO SUPPLY AND INSTALL THE FOLLOWING

1. PAPER TOILET DISPENSER
2. TOILET TISSUE DISPENSER
3. SANITARY NAPKIN DISPENSER
4. SOAP DISPENSER

*THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFIED ITEMS OR APPROVED EQUAL

DOOR SCHEDULE :

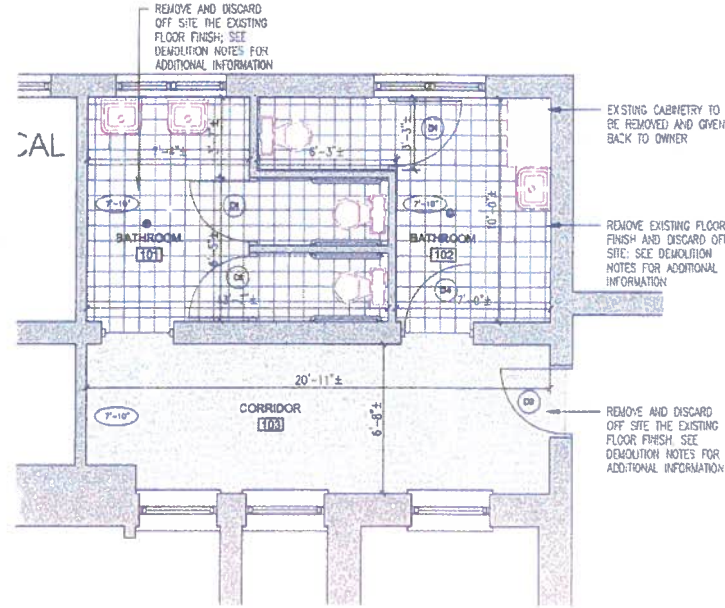
- DOOR - D1
 1. REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE TO BE CLEANED/POLISHED
 2. APPLY SEMI-GLOSS ALKID ENAMEL PAINT MIN. (2) COATS COVER
- DOOR - D2
 1. SUPPLY AND INSTALL NEW SOLID CORE WOOD DOOR TO FIT WITH EXISTING DOOR FRAME
 2. SUPPLY AND INSTALL NEW HARDWARE HINGES AND PASSAGE LOCK SET
 3. APPLY (1) COAT OF PRIMER/UNDERCOAT AND MIN. (2) COATS OF SEMI-GLOSS ALKID ENAMEL PAINT TO THE NEW SOLID CORE WOOD DOOR/FRAME.
- DOOR - D3
 1. APPLY MIN. (2) COATS OF SEMI-GLOSS ALKID ENAMEL PAINT TO THE EXISTING DOOR/FRAME
- DOOR - D4
 1. APPLY MIN. (2) COATS OF SEMI-GLOSS ALKID ENAMEL PAINT TO THE EXISTING DOOR/FRAME
 2. SUPPLY AND INSTALL NEW PASSAGE LOCK SET

ROOM FINISH SCHEDULE

ROOM NAME	ROOM #	DENOTATION	FLOOR	DENOTATION	WALLS	CEILING		NOTES
						MATERIAL	HEIGHT	
WASHROOM	101	(PT)	PORCELAIN NON SLIP FLOOR TILE, EPOXY GROUT	(CT)	CT1: CERAMIC WALL TILE, VINYL EDGE STRIPS, EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIABLES	ALL EXPOSED WALLS TO BE PAINTED; WALL BEHIND SINK TO BE TILED FROM FLOOR TO CEILING
WASHROOM	102	(PT)	PORCELAIN NON SLIP FLOOR TILE, EPOXY GROUT	(CT)	CT1: CERAMIC WALL TILE, VINYL EDGE STRIPS, EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIABLES	ALL EXPOSED WALLS TO BE PAINTED; WALL BEHIND SINK TO BE TILED FROM FLOOR TO CEILING
CORRIDOR	103	(PT)	PORCELAIN NON SLIP FLOOR TILE, EPOXY GROUT; METAL TRANSITION STRIP		PRIMER AND PAINT	(2) COATS OF PAINT	VARIABLES	ALL EXPOSED WALLS TO BE PAINTED

NOTES:

- 1) STANDARD TILE LAYOUT PATTERN TO INCORPORATE 1/8" GROUT LINES (FLOOR/WALL)
- 2) FLOOR MEMBRANE - DITRA SCHLUTER MEMBRANE
- 3) INSTALL NEW PORCELAIN TILE (TILE LAYOUT SHALL BE SYMMETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH 1/8" STRAIGHT & EVEN GROUT LINES. THIN-SET ADHESIVE AND GROUT SHALL BE PER MANUFACTURERS' SPECIFICATIONS FOR AREAS EXPOSED TO WATER
- 4) METAL TRANSITION STRIPS - NO MORE THAN 1" HEIGHT DIFFERENCE FOR FINISH FLOOR HEIGHTS
- 5) WALL TILE TO TERMINATE 52" ABOVE THE FINISH FLOOR WHERE SPECIFIED
- 6) APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED
- 7) PRIMER - CONCRETE & MASONRY SEALER
- 8) WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LIVING COLOR (OR APPROVED EQUAL); EGG SHELL FINISH; COLOR TO BE DETERMINED
- 9) CEILING PAINT - ROLL-A-TEX (FINE) OR SAHITEX WHITE (OR APPROVED EQUAL)



1 EXISTING PARTIAL PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND :

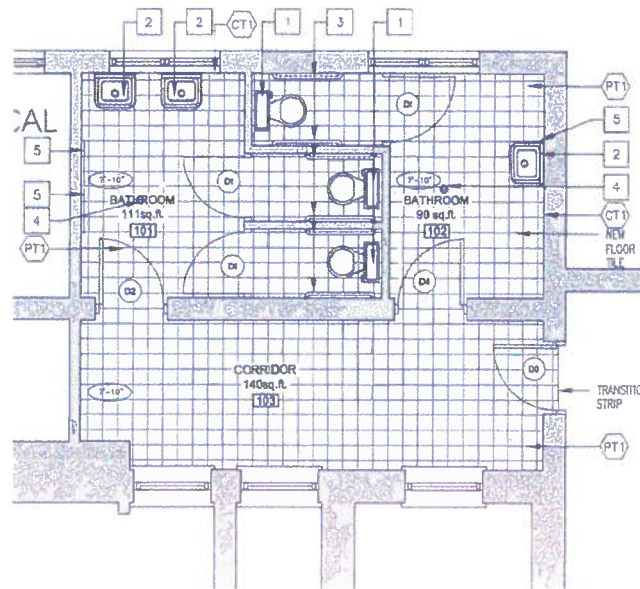
- EXISTING BASE BUILDING
- EXISTING WALLS TO BE DEMOLISHED
- EXISTING DOOR/FRAME/HARDWARE TO BE REMOVED
- CEILING HEIGHT

GENERAL DEMOLITION NOTES :

1. INTERRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT MANAGER AND SHALL BE KEPT TO MINIMUM.
2. REMOVE ALL EXISTING BATHROOM FIXTURES
3. ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING IN COMPLIANT WITH APPLICABLE CODES. REFER TO ENGINEERS DRAWINGS
4. ALL MATERIALS CONTAINING ASBESTOS AND IDENTIFIED FOR DEMOLITION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND WITH BERNEUDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION.
5. PROTECT ALL EXISTING WORK. #1 DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR.
6. ANY DEMOLITION OCCURRING BEYOND THE SCOPE IDENTIFIED, MUST BE RETRISHED TO ORIGINAL CONDITION AT THE GENERAL CONTRACTORS EXPENSE.
7. THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MINIMUM TO NO INTERRUPTION WITH THE FOLLOWING SERVICES UNLESS NOTIFIED IN ADVANCE: LIFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUMBING, IT NETWORK, SECURITY AND LIGHTING.

DEMOLITION NOTES :

- FLOORS:
1. REMOVE EXISTING TILE AND TILE ADHESIVE SUBSTRATE.
 2. REMOVE AND DISCARD EXISTING CARPET AND UNDERLAY AND MAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND PORCELAIN TILE.
 3. THE CONCRETE SLAB SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE), SMOOTH AND LEVEL.
 4. ENSURE INTEGRITY OF EXISTING FLOOR DRAIN. FIT WITH NEW BRASS OR CHROME PLATED STRAINER.
 5. REPAIR AS NECESSARY TO ENSURE DRAINAGE TO STRAINER.
 6. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
- WALLS:
1. REMOVE EXISTING WALL TILE AND TILE ADHESIVE SUBSTRATE.
 2. REMOVE ALL HARDWARE PROTRUSIONS AND DEVICES.
 3. CHECK FOR CRACKS AND VOIDS IN EXISTING SURFACE AND REPAIR AS NECESSARY.
 4. ENSURE DRY MASONRY SURFACE FREE OF OILS AND DEBRIS THAT MAY INHIBIT PROPER BONDING AND CURING.
- CEILINGS:
1. CEILINGS SHALL BE CLEANED, DRY, LEVEL AND FREE FROM LOOSE OR OTHER MATERIAL WHICH MIGHT AFFECT THE BOND OF THE PAINT. ALL SURFACES SHALL BE THOROUGHLY CLEANED AND PREPARED IN AN APPROVED MANNER AS RECOMMENDED BY THE MANUFACTURERS
- DOORS:
- EXISTING TOILET STALL DOORS AND FRAMES:
1. REMOVE EXISTING FINISH PAINT COAT, SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
 2. REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING
- EXISTING BATHROOM/CORRIDOR ENTRANCE DOORS AND FRAMES:
1. REMOVE EXISTING FINISH PAINT COAT, SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.



2 PROPOSED PARTIAL PLAN
SCALE: 1/4" = 1'-0"

DRAWING LEGEND :

- EXISTING BASE BUILDING
-
- DENOTES: CEILING HEIGHT
- DENOTES: FURNISHINGS & EQUIPMENT SPECIFICATIONS
- DENOTES: DOOR SYMBOL
- DENOTES: CERAMIC TILE
- DENOTES: PORCELAIN TILE

GENERAL CONSTRUCTION NOTES :

1. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL NOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FIELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS.
2. THIS DRAWING IS NOT TO BE SCALED.
3. PRIOR TO ORDERING OR FABRICATING THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIONS
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MANUFACTURERS PLUMBING EQUIPMENT SPECIFICATIONS FOR REVIEW & APPROVAL
5. THE CONTRACTOR SHALL INSTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAWN AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
6. ALL FURNISHINGS/EQUIPMENT/FIXTURES SHALL BE FASTENED SECURELY, LEVEL AND PLUMB TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
7. ALL FURNISHINGS, FIXTURES AND EQUIPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS.
8. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS
9. NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COORDINATED WITH THE ELECTRICAL DRAWINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
10. GENERAL CONTRACTOR TO REVIEW ALL MATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION.
11. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFIED OTHERWISE.
12. ALL GENERAL CONTRACTORS MARKUPS AND OVER-LEAD'S SHOULD BE INCLUDED IN THE COST
13. THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCUMULATE, BUT SHOULD BE REMOVED AT REGULAR INTERVALS AND DISPOSED OF IN A LAWFUL MANNER
14. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE, FROM DAMAGE ARISING OUT OF THE WORKS
15. ANY DAMAGED ARISING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESMAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
16. THE GENERAL CONTRACTOR SHALL INSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAINING ACCESS.