

## **DRAWING INDEX** ARCHITECTURAL DRAWINGS DRAWING TITLE COVER SHEET & LOCATION PLAN GENERAL NOTES TUB ROOM AREA C: FLOOR PLANS/GENERAL NOTES WASHROOM AREA A: FLOOR PLANS/GENERAL NOTES

# ISSUED FOR PERMITTED DEVELOPMENT APPROVAL LEFROY HOUSE CARE COMMUNITY WASHROOM & TUB ROOM REFURBISHMENT PROJECT

SANDY'S PARISH

Prepared by

**MINISTRY OF PUBLIC WORKS** 

**ARCHITECTS SECTION** 

MINISTRY OF HEALTH LEFROY HOUSE CARE COMMUNITY







### WASTE MANAGEMENT NOTES:

- WOOD PRODUCTS EXCEPT THOSE THAT PRODUCE UNDESIRABLE MISSIONS) SHALL BE DELIVERED TO THE TYNES BAY WASTE
- ALL WASTE SUITABLE FOR A COVER MATERIAL SHALL BE
- ALL METAL BYO, GYPSUM BOARD SHALL BE DELIVERED TO THE
- ANY HAZARDOUS WASTE, SUCH AS PRODUCTS CONTAINING MERCURY (LIKE FLUORESCENT LAMPS MERCURY SWITCHES), PCB'S (LIGHT BALLASTS, TRANSFORMERS), OTHER CHEMICALS (PESTICIDES, OILS) SHALL NOT BE ACCEPTED AT ANY FACILITY, EXCEPT DURING HAZARDOUS WASTE DROP OFF DAYS OR BY PRIOR ARRANGEMENT WITH THE WASTE MANAGEMENT SECTION THE MINISTRY OF WORKS AND ENGINEERING.
- MIRCELLANGOUS METAL SLICH AS DOOR FRAMES, WINDOW RAMES, WITH OR WITHOUT GLASS, SHALL BE DELIVERED TO THE
- ALL WHITE GOODS, SMALL APPLIANCES, TV SETS, ETC. SHALL BE CLEARED OF CONTAMINANTS SUCH AS MERCURY, PCB, REFRIGERANTS, OILS, ETC. THEY SHALL BE CRATED OR FLATTENED BEFORE DELIVERY TO THE AIRPORT SITE.
- ALL LINGAL VAGCABLE LUMBER IS TO BE STRIPPED OF PLASTER. ALL UNSALYAGEABLE LUMBER IS TO BE STRIPPED OF PLASTER, EXPANDED WIRE MESH, STEEL ATTACHMENTS (GE, DOOR KNOBS, LOCK SETS, HINGES), ETC. (SMALL NAILS ARE ACCEPTABLE). THE LUMBER SHALL BE DELIVERED TO THE TYMES BAY SITE IN A SIZE READY POR INCINERATION (CHIPPED TO SMALL PIECES, SAY 3'X 3'Y 3') OR LARGER SIZES (LESS THAN 3'X 8'X 5') MAY BE STORED BY THE CONTRACTOR AND DELIVERED TO THE TYMES BAY SITE BY PRIOR ARRANGEMENT WITH THE MANAGER OF THE TYMES BAY SITE SITE ALTERNATIVELY, THE CONTRACTOR MAY APPLY TO THE MINISTRY OF ENVIRONMENT FOR PERMISSION TO BURN LUMBER.
- ALL PLASTER, PLASTER LATH, ETC. AND ASSOCIATED EXPANDED METAL MESH SHALL BE SIZED TO MANAGEABLE DIMENSIONS AND DELIVERED NOT MIXED WITH OTHER DEMOLITION WASTE TO THE
- CARPETS SHALL BE STRIPPED FROM THE SITE, ROLLED INTO SIZE NOT EXCEEDING 10" IN DIAMETER AND 10" IN LENGTH AND SHALL BE DELIVERED TO THE TYNES BAY SITE, GENERAL CONTRACTOR TO MAKE ARRANGEMENTS WITH FACILITY MANAGEMENT PRIOR TO
- ALL WOODEN FURNITURE/MILLWORK IS TO BE AS FREE OF METAL AS PRACTICAL AND TRANSPORTED TO THE TYNES BAY SITE.
- FURNITURE MADE OF POLYVINYL CHLORIDE (PVC) SHALL BEDELIVERED TO THE AIRPORT SITE.

### **GENERAL NOTES:**

- 1. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO: -USE FIGURE DIM, IN PREFERENCE TO SCALING -VERIFY AND CHECK ALL DIMENSIONS PRIOR AND DURING CONSTRUCTION AND BEFORE ORDERING MATERIALS -DETERMINE THE LOCATION OF EXISTING BERVICES AND REQUIRED CHANGES VERIFY ALL EXISTING CONDITIONS FOR COORDINATION OF WORK TO BE EXECUTED
  TO REPORT ANY DISCREPANCIES OR SUBSTITUTIONS TOBE REVIEWED BY THE PROJECT MANAGER BEFORE PROCEEDING. NO SUBSTITUTIONS SHALL BE MADE THAT HAVE NOT BEEN APPROVED PRIOR TO CONTRACT SIGNING.
- 2 THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS. EXCEPT THE BUILDING PERMIT, INCLUDING WORK PERMITS FOR FOREIGN SUB-CONTRACTORS AND INSPECTIONS REQUIRED BY THE APPROPRIATE AUTHORITY TO ALLOW WORK TO PROCEED AND AS APPLICABLE FOR OCCUPANCY. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO ARRANGE FOR ANY REQUIRED NSPECTIONS BY THE AUTHORITIES HAVING JURISDICTION
- 3. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES FOR PROJECTS OF THIS NATURE AND SHALL CONFORM TO ALL CURRENT LAWS, RULES REGULATIONS AND CODE REQUIREMENTS APPLICABLE TO THE WORK REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT
- 4. THE CONTRACTOR SHALL CONFORM TO THE LOCAL BUILDING CODES LATEST EDITION, UL STANDARDS WHERE APPLICABLE. AND STANDARDS FOR THE PRESERVATION OF PUBLIC HEALTH AND CONSTRUCTION SAFFTY, WHICH ARE, OR SECOME, IN FORCE DURING THE PERFORMANCE OF THE WORK. THE BERMUDA LAW SHALL GOVERN THIS CONTRACT
- 5. IN THE EVENT OF CONFLICTS BETWEEN CONTRACT OCCUMENTS THE FOLLOWING SHALL APPLY:

  A) FIGURED DIMENSIONS SHOWN ON A DRAWING SHALL
  SOVERN EVEN THOUGH THEY MAY DIFFER FROM DIMENSIONS SCALED ON THE SAME DRAWING SVALED ON THE SAME DIFAMING,
  (B) DRAWINGS OF LARGER ECALE SHALL GOVERN OVER THOSE
  OF SMALLER SCALE OF THE SAME DATE,
  (C) SPECIFICATIONS SHALL GOVERN OVER DRAWINGS,
  (D) THE GENERAL CONDITIONS SHALL GOVERN OVER
  SPECIFICATIONS.
- (D) THE GENERAL CONDITIONS SHALL GOVERN OVER SPECIFICATIONS, (E) SUPPLEMENTARY CONDITIONS SHALL GOVERN OVER THE NERAL CONDITIONS, AND
  THE EXECUTED AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL GOVERN OVER ALL DOCUMENTS.
- NOTWITHSTANDING THE FOREGOING, DOCUMENTS OF LATER
- 7 THE CONTRACTOR SHALL SECTION OFF THE CONSTRUCTION THE CONTRACTOR SHALL SECTION OFF THE CONSTRUCTION AREA SUCH THAT DUST IS KEPT TO A MINIMUM AND THE AREA OF WORK IS SECURED FROM UNAUTHORIZED ACCESS. THE CONTRACTOR IS TO KEEP THE SITE IN AN OCCUPIABLE AND OPERATIONAL STATE OF CLEARLINESS. OPERATIONAL SYSTEMS INCLUDE BUT ARE NOT LIMITED TO FIRE DETECTION A SET OF THE STATE OF THE DETECTION AS THE SECURITY OF THE DETECTION AS THE SECURITY OF THE DETECTION AS THE SECURITY OF THE
- 8 THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION THE SITE IS TO BE MAINTAINED THROUGHAUT THE DUPATHAY
  OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE
  ALLOWED TO ACCUMULATE AND SHOULD BE REMOVED AT THE
  END OF EACH WORKING DAY AND LAWFULLY DISPOSED OF.
- 9. DRAWINGS ARE NOT TO BE SCALED
- 10. THE CONTRACTOR SHOULD TAKE NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, AND EXISTING PROPERTY. ALL DISTURBED WORK SHALL BE MADE GOOD TO MATCH EXISTING WORK OR AS DIRECTED BY THE PROJECT MANAGER.
- 11. ENSURE ALL EXISTING SURFACES IN THE GROUND FLOOR LOBBY AND ELEVATOR ARE WELL PROTECTED DURING CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION MILL BE PATCHED AND MADE NEW AT THE CONTRACTOR'S EXPENSE.
- 12. THE CONTRACTOR IN CARRYING OUT THE WORK MUST ABIDE BY THE BAFETY AND HEALTH ACT (1882, AMENDMENTS OF ALL OCCUPATIONAL SAFETY & HEALTH, ENGRIBENT HAT THE NECESSARY PRECAUTIONS ARE TAKEN TO ENSURE THE SAFETY AND HEALTH OF CONTRACT WORKERS, SITE VISITORS AND ALL PERSONNEL INVOLVED IN THE PROJECT OR ATTENDING THE PREMISES WHERE THE WORK IS BEING COMPLETED, INCLUDING KEEPING NOISE AND DIRT TO A MINIMUM.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE
- 14. PROVIDE SAMPLES AND SUBMITTALS FOR ITEMS INCLUDING BUT NOT LIMITED TO DOOR HARDWARE, ACCESSORIES, FITTINGS & EQUIPMENT, PROVIDE SHOP DRAWINGS FOR ALL MILLWORK ITEMS
- 15. CUTTING AND PATCHING
  -ALL CUTTING AND PATCHING REQUIRED TO THE EXISTING BUILDING STRUCTURE FOR WORK SHALL SE INCLUDED UNDER THIS CONTRACT AND BE ACCEPTABLE TO THE ARCHITECT/OWNER.

  "WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE STOPPING MATERIAL LISTED WITH, AND BEAR LABEL OF CSA AND ULC. AND MAINTAIN SAME FIRE RATING OF BUILDING COMPONENT PENETRATION
- 16. ALL INTERIOR FURNITURE FITTINGS AND EQUIPMENT TO BE COORDINATED WITH COMMERCIAL INTERIOR GROUPS (CIG) 'F SERIES DRAWINGS (NOTED FOR REFERENCE ONLY)
- 17. ALL WINDOW INSTALLATION COORDINATION/ATTENDANCE MATTERS TO BE REFERRED TO THE PROJECT MANAGER FOR THE BERMUDA GOVERNMENT.
- 18. ALL PENETRATIONS (EXISTING & NEW) THROUGH FIRE RATED ASSEMBLIES INCLUDING BUT NOT LIMITED TO WALLS, SLABS AND CEILINGS SHOULD BE FIRE RATED PER CODE

### SCOPE OF WORK NOTES:

- LOCATION: THE LOCATION OF SELECTIVE DEMOLITION TO THE BUILDING STRUCTURE WILL NORMALLY BE INDICATED ON THE DRAWINGS AS REQUIRED TO ACCOMMODATE NEW
- CONDITION OF STRUCTURE: THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- CONTRACTOR SHALL VERIFY ALL EXIBTING CONDITIONS BEFORE STARTING ANY DEMOLITION OR CONSTRUCTION WORK.
- TEMPORARY SIGNAGE: DURING DEMOLITION OR ALTERATION WORK IN BUILDINGS USED BY THE GENERAL PUBLIC AND STAFF, THE CONTRACTOR SHALL PROVIDE SIGNS DIRECTING BUILDING USERS TO NECESSARY SERVICES OF THE FACILITY, IN ADDITION TO SIGNS APOLOGIZING FROM DISRUPTION.
- PROTECTION: THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNERS PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- WHERE APPLICABLE, THE CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES TO PROVIDE FREE AND SAFE PASSAGE OF THE OWNER'S PERSONNEL AND THE GENERAL PUBLIC TO AND FROM OCCUPIED AREAS OF THE BUILDING.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF THE STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ANY EXISTING FINISH WORK THAT IS TO REMAIN AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS, INCLUDING PROTECTING FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY DUST-PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIFF OR DUST OPERATION ARE PERFORMED, AND EQUIP PARTITIONS WITH DUST-PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
- 10 THE CONTRACTOR SHALL PROVIDE TEMPORARY WEATHER PROTECTION BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON THE EXTERIOR SURFACES, AND THE INSTALLATION NEW CONSTRUCTION, TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE STRUCTURE AND INTERIOR AREAS OF THE EXISTING BUILDING.
- THE CONTRACTOR SHALL MAKE PROVISION FOR THE CONTINUITY OF UTILITY SERVICES TO OCCUPIED AREAS OF THE BITE AND SHALL PERMANENTLY DR TEMPORARILY CAP OFF OR RELOCATE UTILITY SERVICE LINES AS REQUIRED.
- 12. CONCRETE AND MASONRY: CONCRETE AND MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS, CUT AT JUNCTIONS WITH CONSTRUCTION REMAIN, USING A POWER-DRIVEN MABONRY SAW OR HAND TOOLS WHERE POSSIBLE AND NOT POWER-DRIVEN
- 13. DEBRIS SHOULD BE PROMPTLY REMOVED TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS AND FRAMING, AND TO AVOID BLOCKING EGRESS TOO & FROM THE
- SERVICES: IF UNEXPECTED MECHANICAL, ELECTRICAL OF STRUCTURAL ELEMENTS ARE ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT DETAILS OF SUCH TO THE ARCHITECT.
- ASBESTOS AND OTHER HAZARDOUS MATERIALS: IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION DR OTHER OPERATIONS, THE CONTRACTOR SHALL CEASE WORK IN THE AFFECTED AREA AND SUBMIT A REPORT TO THE ARCHITECT; ANY WORK IN SUCH AN AREA SHALL COMPLY WITH APPLICABLE REQUILATIONS CONCERNING REMOVAL, HANDLING, PROTECTION AGAINST EXPOSURE AND ENVIRONMENTAL POLILITION, AND DISPOSAL
- BURNING OF ANY REMOVED MATERIALS IS NOT PERMITTED ON THE
- 17 PARKING: THE GENERAL CONTRACTOR IS TO COORDINATE WITH THE CORPORATION OF HAMILTON IN SECURING CURB SIDE PARKING FOR LOADING AND UNLOADING OF BUILDING MATERIAL

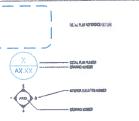
### **GENERAL RCP NOTES:**

- CONTRACTOR TO REVIEW EXISTING CEILING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION REPORT ANY INTERFERENCE WITH DUCTS, BEAMS, PIPES ETC IMMEDIATELY
- ALL MECHANICAL AND ELECTRICAL WORKS TO COMPLY WITH BERMUDA BUILDING CODE
  REQUIREMENTS AND ALL AUTHORITIES HAVING
  JURISDICTION, ANY CHANGES TO BE REVIEWED
- MECHANICAL CONTRACTOR RESPONSIBLE FOR ALL LABOUR AND MATERIALS TO COMPLETE THE NECESSARY HVAC ALTERATIONS
- WHERE REQUIRED PROVIDE FIRE DAMPERS AT
- ALL SWITCHES AND COVER PLATES TO MATCH
- ALL EXISTING NEW AND RELOCATED EMERGENCY EXIT SIGNS TO BE CONNECTED TO BASE BUILDING EMERGENCY SYSTEM. PROTECT EXISTING CELLING SYSTEM AND LIGHT
- FIXTURE DURING CONSTRUCTION. CLEAN ALL LIGHT FIXTURES UPON COMPLETION. NOMINATED MECHANICAL AND ELECTRICAL SUB-
- CONTRACTORS TO REPLACE ANY DAMAGED
  TO SE WITH NEW THES AND RELOCATE EXISTING
- REUSE EXISTING LIGHT SWITCHES WHERE POSSIBLE, ENSURE SUFFICIENT SWITCHES A PROVIDED IN OPEN OFFICE AREAS, PROVIDE SEPARATE LIGHT SWITCH FOR NEW NLIGHTS AND WALL SCONCES
- 10. THESE DRAWINGS ARE TO BE READ IN ACCHANICAL ELECTRICAL AND ARCHITECTURAL
- ALL NEW DRYWALL CEILINGS (UNLESS OTHERWISE SPECIFIED) TO BE 1/2" THICK USG DRYWALL FIXED TO GALVANIZED STEEL FRAMING. TAPE, FILL AND SAND READY FOR PAINT FINISM.
- MECHANICAL SUBCONTRACTOR TO ARRANGE POR AN INSPECTION AND BALANCING REPORT AFTER PROJECT COMPLETION UPON COMPLETION, THE HYAC SYSTEM IS TO BE FULLY ALANCED TO THE BATISFACTION OF THE
- 14. ELECTRICAL CONTRACTOR TO SUBMIT CUT
- 16. ALL SWITCHES ON PARTITIONS TO BE MOUNTED VERTICALLY 5" FROM DOOR FRAME OR AS NOTED ON DRAWING
- 18. DIMENBIONS ARE FROM THE FACE OF THE WALL. TO CENTER OF THE FIXTURE (U.O.N.), RECESSED DOWNLICHTS ARE TO BE NISTALLED IN CENTER OF CEILING TILE UNLESS DIMENBIONED
- 17. ALL FIRE DETECTORS AND DIFFUSERS MUST NOT BE WITHIN 3-0" ON CENTRE OF EACH OTHER. CONTRACTOR TO COORD NATE WIFIRE ALARM TECHNICIAN.

### **GENERAL DEMOLITION NOTES:**

- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS IF THE EVENT THAT DISCREPANCIES ARE NOTED BETWEEN SITE CONDITIONS AND THE PROJECT
- PROTECT EXISTING CONSTRUCTION AT PERIMETER WALLS, EXISTING FURRED COLUMNS AND AREAS ADJACENT TO DEMOLITION.
- WHERE EXISTING CONSTRUCTION HAS BEEN REMOVED, PREP SUBSURFACES AND ADJACENT SURFACES AS REQ'D FOR NEW CONSTRUCTION
- 4. SALVAGE (REMOVE & REUSE) EXISTING DOORS, FRAMES AND HARDWARE, SPARE DOORS AND HARDWARE TO BE TURNED OVER TO OWNER'S STOCK IF DESIRED.
- 5. REFER TO MEP DRAWINGS FOR DEMOLTION SCOPE OF PLUMBING FIXTURES, ELECTRICAL AND HVAC
- 6. EXISTING DUCTING TO BE ALTERED TO SUIT NEW LAYOUTS (REFER TO MECHANICAL DRAWINGS
- CO-ORDINATE FOR DISCONNECT AND RELOCATION OF EXISTING WALL MOUNTED FIRE/ SECURITY/ ELECTRICAL PANELS AS REQUIRED (REFER TO ELECTRICAL DRAWINGS)
- 8 FNSURE MINIMAL DISTURBANCE TO ANY OCCUPIED SPACE ADJACENT TO AREAS WHERE DEMOLITION
- 9 LISE OF ANY SOLVENT STRIPPERS TO OCCUR AFTER HOURS FOLLOWING PROPER VENTILATION PROCEDURES.
- 10. REPAIR AND MAKE NEW ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK FINISHES TO MATCH ADJACENT SURFACES U.N.O.
- 11. CONTRACTOR TO ENSURE GOVERNMENT ITO DATA BERVICE PROVIDERS HAVE ACCESS TO THE SITE FOR THE ENTIRE DURATION OF WORKS. NCE TO BE INCLUDED IN CONTRACTORS

### **GENERAL DRAWING LEGEND:**



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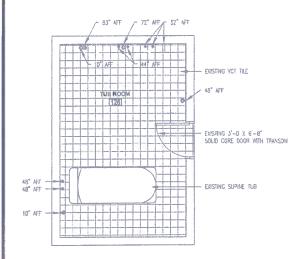
P.O. Box HM 525 Hamilton HMCX Bermuda Fax: (441) 295-4675

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LEFROT HOUSE CARE COMPAUNT

A0.1





### GENERAL DEMOLITION NOTES

- DIFFRRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT WAVAGER AND SHALL BE KEPT TO WINIMUM.
- 2. REMOVE ALL EXISTING BATHROOM FIXTURES
- 3 ALL SERVICES TO BE REMOVED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOCK OR CEILING IN COMPLIANT WITH APPLICABLE CODES, REFER TO ENGINEERS DRAWINGS.
- 4. ALL MATERIALS CONTAINING ASBESTOS AND IDENTIFIED FOR DEMOUTION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AND WITH BERINDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION.
- 5. PROTECT ALL EXISTING WORK. ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOUTION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR.
- 6. ANY DEMOLTION OCCURRING BEYOND THE SCOPE IDENTIFIED, MUST BE REFINISHED TO ORIGINAL CONDITION AT THE GENERAL CONTRACTORS EXPENSE.
- 7. THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MINIMUM TO NO INTERRUPTION WITH THE FOLLOWING SERVICES UNLESS HOTIFIED IN ADVANCE: UFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUMBING, IT HETWORK, SECURITY AND LIGHTING
- 8. REFER TO ENGINEERED ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOUTION NOTES AND ITEMS TO BE REMOVED.

### DEMOLITION NOTES :

### FLOCRS:

1. REMOVE EXISTING THE AND THE ADMESNE SUBSTRATE

- 2 WAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND PORCELAIN TILE.
- 3 THE CONCRETE SUB-SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE),
- 4. ENSURE INTEGRITY OF EXISTING FLOOR DRAIN. FIT WITH NEW BRASS GR CHROME PLATED STRAINER.
- RENDER AS NECESSARY TO ENSURE DRAMAGE TO STRAINER
- 6. ENSURE DRY MASONRY SURFACE FREE OF O'LS AND DEBPIS THAT MAY WHILET PROPER BONDING AND CURING
- 7. REMOVE AND RETURN TO THE CLIENT THE "SUPINE TUB"

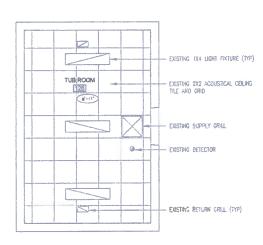
### WALLS

REMOVE ALL HARDWARE PROTRUSIONS AND DEVICES

- 2 CHECK FOR CRACKS AND VOIDS IN EXISTING SURFACE AND REPAIR AS HECESSARY
- 3. ENSURE DRY MASONRY SURFACE FREE DF DILS AND DEBRIS THAT MAY WHIBIT PROPER BONDING AND CURING.
- 4: RENOVE BASEBOARDS
- 5. REMOVE REDUNDANT ELECTRICAL AND PLUMBING LINES.
- 6. REMOVE AND RETURN TO THE CLIENT WALL THE "MOUNTED SHOWER FAUCET UNIT"
- 7. REMOVE AND RETURN TO THE CLIENT THE "ASSISTANT CALL BUZZER"
- 8. REMOVE WITH CARE AND REJURN TO THE CLIENT ALL MILLWORK SECURED TO THE WALLS CELINGS:
- I: REMOVE EXISTING ACOUSTICAL CEILING GRID AND TILES
- 2. REMOVE AND RETURN TO THE CLIENT THE EXISTING 1X4 LIGHT FOXTURES

### COOR/FRAME & HAPDWARE:

- 1. REMOVE EXISTING FINISH PAINT COAT, SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
- 2. REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING



2 EXISTING PARTIAL RCP - DEMOLITION A11 / 8CALE V4" = 1-0"

### SYMBOL LEGEND

- # EXISTING RECEPTACLE
- DUSTING FLOOR DRAIN
- EXISTING PLUMBING FIXTURE
- DISTING PLUMEING PIPE PROTRUDING FROM

### DOOR SCHEDULE

DE DOOR - DI

1. REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE TO BE CLEANED/POLISHED.

ROOM FINISH SCHEDULE

3) INSTALL NEW PORCELAIN TILE (TILE LAYOUT SHALL BE SYSMUETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH \$ STRAIGHT & EVEN GROUT LIMES, THIN-SET ADHESIVE AND GROUT SHALL BE PSR MANUFACTURERS SPECIFICATIONS FOR AREAS EXPOSED TO WATER

8) WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LYMIG COLOR (OR APPROVED EQUAL), EGG SHELL FINISH; COLOR TO BE DETERMINED

PRIME AND PAINT

2 APPLY SENI-GLOSS ALKYD ENAMEL PAINT MIN (2) COATS COVER

### OWNER TO SUPPLY AND INSTALL THE FOLLOWING

FLOOR

PORCELAIN NON SUP FLOOR TILE; EPOXY GROUT

E) METAL TRANSITION STRIPS - NO MORE THAN \$" HEIGHT DIFFERENCE FOR FINISH FLOOR MEIGHTS

) STANDARD TILE LAYOUT PATTERN TO INCORPORATE (\* GROUT LINES (FLOOR/WALL)

WALL THE TO TERMINATE 98" ABOVE THE FINISH FLOOR WERE SPECIFIED

APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED

9) CEILING PAINT - ROLL-A-TEX (FINE) OR SANDTEX WHITE (OR APPROVED EQUAL)

ROOM NAME ROOM # DENOTATION

FLOOR WEMBRANE - DITRA SCHLUTER MEMBRANE

TUB ROOM (SHOWER

ENCLOSURE) 128

"THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFED ITEMS OF APPROVED EQUAL

## 3 PROPOSED PARTIAL PLAN A1.1 SCALE 1/4' - 1-0" FURNISHINGS + EQUIPMENT SPECIFICATIONS :

GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING U.N.O.

1 SHOWER FAUCET

SHOWER STALL (CURBLESS)

1 KOHLER PURST HASTER SHOWER XYI (\* THERMOSTATIC VALVE & TRIM 2. KOHLER MASTER SHOWER 2 OR 2 WAY TRANSFER VALVE & TRIM SHOWER ORAH

.1 (2) SCHLUTER-KERDI LINE FLOOR DRAINS SHOWER HEAD

3.1 KOHER PURST SINCLE-FUNCTON SHOWERHEAD W/ KATALYST SPRAY (SHOWER ARM & FLANGE)
3.2. TROBER RUPSDE OI HANDSHOWER, 30" SLIDE BAR, 72" MASTERSHOWER HANDSHOWER HOUSE
PLIKST WALL-MOUNT SUPPLY ELBOW
4. SHORPH CURRAIN ROD

ALL ALUMINUM HOSPITAL GRADE CURTAIN TRACK SYSTEM (MIN. 1-3/8" BY 3/4")

SNAP PANEL STYLE HOSPITAL CUBECLE CURTAINS RAILS AND GRAB BARS

5.1. KOHLER BELAY 54" HANDRALS 5.2 24" TOWN DEC

CELLING

ATERIAL HEIGH

6.1. KOHLER LADENA UNDERCOUNTER LAVATORS 6.2. AVONTE SOUD SURFACE COUNTER

NOTES

ALL EXPOSED WALLS TO BE PAINTE

ALL EXPOSED WALLS TO BE PAINTED

### 5'-0"± NEW UNDERCOUNTER LAVATORY - EXISTING 1X4 LIGHT FIXTURE (TYP) NEW FLOOR & $\otimes$ NEW RECESSED LIGHT FIXTURE WALL MOUNTED CABINETRY 8'-11° - NEW 2X2 ACOUSTICAL COUNG TILE AMD GRID NEW 3'-0 X 6'-8" SOLID CORE DOOR WITH TRANSOM - NEW DETECTOR NEW SUPPLY GRILL NEW LINEAR TRENCH DRAIN (ADA COMPLIANT) NEW PORCELAIN FLOOR 8'-11" 126 (OWNER SUPPLIED) NEW LIGHTFIXTURE MEN CERAMIC FLOOR TO CEILING WALL TILE NEW RETURN CREE (TYP)

4 PARTIAL REFLECTED CEILING PLAN A11 SCALE 1/4" - 1-0"

### DRAWING LEGEND

DOSTING BASE BUILDING

NEW CONSTRUCTION (UTTERIOR WALLS SHALL BE 5/8" PLASTER)

(er-er) DENOTES CEILING HEIGHT

XX DENOTES: FURNISHINGS & EQUIPMENT SPECIFICATIONS

DENOTES: DOOR SYMBOL

CT DEHOTES: CERAMIC TILE

PT DENOTES: POPCELAIN FILE

### GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL YERFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL NOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS
- 2. THIS DRAWING IS NOT TO BE SCALED.
- 3. PRIOR TO GROENING OR FASHICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FIELD DIMENSIOUS
- 4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MANUFACTURERS PLUMBING EQUIPMENT SPECIFICATIONS FOR REVIEW & APPROVAL
- 5. THE CONTRACTOR SHALL INSTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAINED AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
- 6. ALL FURNISHINGS/EQNIPMENT/FIXTURES SHALL BE FASTENED SECURELY: LEVEL AND PLUMB TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
- 7. ALL FURNISHINGS, FIXTURES AND EDUPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS. 8. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS
- AND SPECIFICATIONS 9. NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COORDINATED WITH THE ELECTRICAL ORANINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
- 10. GENERAL CONTRACTOR TO REVEY ALL NATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION.
- 11. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFIED OTHERWISE...
- 12. ALL GENERAL CONTRACTORS MARKUPS AND OVERHEAD'S SHOULD BE INCLUDED IN THE COST.
- 13. THE SITE IS TO SE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLONED TO ACCUMULATE, BUT SHOULD BE REVIEWED AT REGULAR INTERVALS AND DISPOSED OF IN A
- 14. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE, THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE, FROM DAMAGE ARISING OUT OF THE WORKS.
- 15. ANY DAMAGED ARSING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESMAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
- 16. THE GENERAL CONTRACTOR SHALL INSURE THAT THE STE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAMMING ACCESS.

### ARCHITECTS SECTION P.O. Box HM 525 Hamilton HMCX Berunds Tel: (441) 295-5151

**MINISTRY OF PUBLIC WORKS** 





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Prepared By:		NOVEMBE.
Checked By: AM		Date: JANUAR
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Prepared By:		DECEMBE.
Checked By:		JANUAR
Approved By:		
Project Number		
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Project Title:	A PP	ROVE

LEFROY HOUSE CARE COMMUNITY

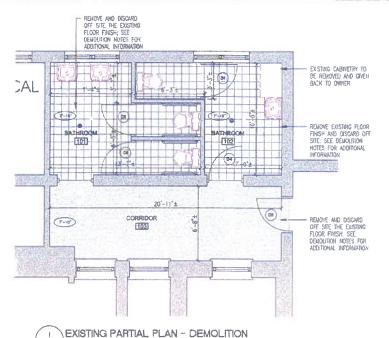
RELAND ISLAND SOUTH

**FLOOR PLANS** 

47 HEYDON ROAD, SANDY'S MAGI,

GENERAL NOTES

Sheet Number A1.1



A1.2 | SCALE: 1/4" - 1-0"

DEMOLITION LEGEND



EXISTING BASE BUILDING



EXISTING WALLS TO BE DEMOUSHED



OF-OF CEILING HEIGHT

### GENERAL DEMOLITION NOTES

- I. INTERRUPTION OF SERVICES TO ANY PART OF THE BUILDING SHALL BE A TIME AND DATE AGREED UPON BY THE PROJECT MANAGER AND SHALL BE KEPT TO MINIMUM.
- 2. REMOVE ALL EXISTING BATHROOM FIXTURES
- 3. ALL SERVICES TO BE REBOYED ARE TO BE SAFELY CAPPED WITHIN THE WALL, FLOOR OR CEILING IN COMPRIANT WITH APPLICABLE CODES REFER TO ENCINEERS DRAWINGS
- 4. ALL MATERIALS CONTAINING ASSESTED AND IDENTIFIED FOR DEMOUTION SHALL BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPAREMENT OF HEALTH AND WITH BERMUDA WATER CONSULTANTS LIMITED WRITTEN SPECIFICATION,
- 5. PROTECT ALL EXISTING WORK. AND DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION MUST BE REPAIRED/REPLACED BY THE GENERAL CONTRACTOR
- 5. ANY DEMOLIPON DOCUMERING REYOND THE SCOPE IDENTIFIED, MUST BE REPRISHED TO GRIGINAL CONDITION AT THE GENERAL CONTRACTORS. EXPENSE.
- 1. THE GENERAL CONTRACTOR IS TO ENSURE THAT THE BUILDING AND ADJACENT SPACES HAVE MANUALING TO HO INTERRUPTION WITH THE FOLLOWING SERVICES UNIESS NOTIFIED BY ADVANCE LIFE SAFETY DEVICES, HVAC, ELECTRICAL POWER, PLUBIBING, IT HETWORK, SECURITY AND LICHTING

### **DEMOLITION NOTES:**

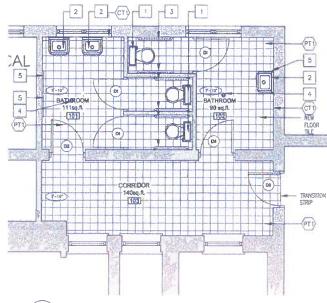
- I REMOVE EXISTING TILE AND THE ADHESIVE SUBSTRATE.
- 12. REMOVE AND DISCARD EXISTING CARPET AND UNDERLAY AND WAKE GOOD EXISTING SLAB TO RECEIVE NEW DITRA SCHLUTER MEMBRANE AND
- THE CONCRETE SLAB SHALL BE CLEAN, DRY (FREE FROM SURFACE AND SUB-SURFACE MOISTURE), SMOOTH AND LEVEL.
- 4. ENSURE INTEGRITY OF EXISTING FLOOR DRAW, FIT WITH NEW BRASS OR CHROME PLATED STRAINER
- 5. REIDER AS NECESSARY TO ENSURE DRAINAGE TO STRAINER.
- 5. ENSURE DRY MASONRY SURFACE FREE OF OUR AND DERRIS THAT MAY INHIBIT PROPER ROWDING AND CHRISC

- I. REMOVE EXISTING WALL THE AND THE LOWESTATE.
- 2. REVIOUE ALL HARDWARE PROTRUSIONS AND DEVICES.
- 3 CHECK FOR CRACKS AND WINDS IN EXISTING SURFACE AND REPAIR AS NECESSARY
- 4. ENSURE DRY WASDIRY SURFACE FREE OF OLS AND DEBRIS THAT MAY WHERT PROPER BONDING AND CLIRING CEILINGS:
- 1. CELLINGS SHALL BE CLEANED, DRY, LEVEL AND FREE FROM LOGSE OR OTHER PATERNAL WHICH MIGHT AFFECT THE ROND OF THE PAINT. ALL SURFACES SHALL BE THOROUGHLY CLEANED AND PREPARED IN AN APPROVED MANNER AS RECOMMENDED BY THE MANUFACTURERS

- EXISTING TOLLET STALL DOORS AND FRAMES:
  1. REMOVE EXISTING FINISH PAINT COAT, SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT.
- 2. REMOVE ALL LATCHES, FIXTURES AND HARDWARE PRIOR TO PAINTING

EXISTING BATHROOM/CORRIDOR ENTRANCE DOORS AND FRAMES!

REMOVE EXISTING FINISH PAINT COAT, SAND AND MAKE GOOD SURFACE TO RECEIVE PAINT,



PROPOSED PARTIAL PLAN A12 / SCALE: 1/4" - 1-0"

### DRAWING LEGEND

EXISTING BASE BUILDING

NEW CONSTRUCTION (INTERIOR FALLS SHALL BE 5/8" PLASTER)



OF-OF DENOTES: CELLING HEIGHT



XX DENOTES: PURNISHINGS & EQUIPMENT SPECIFICATIONS

DENOTES: DOOR SYMBOL -CT DENOTES: CERAVIC TILE

-(PT) DENOTES: PORCELAN TILE

### GENERAL CONSTRUCTION NOTES

- I. THE CONTRACTOR SHALL YERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL MOTIFY THE PROJECT MANAGER OF ANY SITE CONDITIONS OR FIELD DIMENSIONS WHICH MAY BE AT VARIANCE WITH THE DRAWINGS.
- 2. THIS DRAWING IS NOT TO BE SCALED.
- 3. PRIOR TO ORDERING OR FABRICATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT FELD DIMENSIONS
- 4. THE CONTRACTOR SHALL SHEME SHOE DRAWINGS OF MANUFACTURERS PLUMBING COMPANY SPECIFICATIONS FOR REVIEW & APPROVAL.
- 5. THE CONTRACTOR SHALL WISTALL FLOOR DRAINS AT LOW POINTS OF THE SURFACE AREA TO BE DRAINED AND SHALL SET THE TOP OF THE DRAIN FLUSH WITH THE FINISH FLOOR.
- 15. ALL FURNISHINGS/EQUIPMENT/FIXTURES SHALL BE FASTERED SECURELY LEVEL AND PLUVE TO INDICATED SUPPORTS OR BUILDING STRUCTURE.
- ALL FURNISHINGS, FIXTURES AND EQUIPMENT IS TO BE INSTALLED PER THE MANUFACTURES SPECIFICATIONS.
- 8. THESE BRAWNS ARE TO BE READ IN COMMINCTION WITH THE MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS
- 9. NEW LIGHT SAFETY DEVICE INSTALLATIONS ARE TO BE COGROMATED WITH THE ELECTRICAL DRAWINGS/SPECIFICATIONS AND THE PROJECT MANAGER.
- TO GENERAL CONTRACTOR TO REVIEW ALL MATERIALS SUPPLIED BY OWNER AND TO COORDINATE THE INSTALLATION. GENERAL CONTRACTOR TO SUPPLY AND INSTALL ALL OTHER ITEMS UNLESS SPECIFED OTHERWISE.
- 12. ALL GENERAL CONTRACTORS MARKEDS AND ONER-EAD'S SHOULD BE INCLIDED IN THE COST.
- 13. THE SITE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT, AND DEBRIS AND WASTE SHOULD NOT BE ALLOWED TO ACCURRANTE, BUT SHOULD BE REMOVED AT REGULAR INTERVALS AND DISPOSED OF IN A LAWFUL MANNER
- 14. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ADEQUATELY PROTECT THE SITE. THE WORKS, ANY EXISTING PROPERTY, FEATURES, AND GOODS STORED ON SITE, AND ALL PROPERTY SURROUNDING THE SITE FROM DAMAGE ARRING OUT OF THE WORKS.
- 15 ANY CANAGED ARISING OUT OF THE WORKS SHOULD BE IMMEDIATELY MADE GOOD BY SKILLED TRADESHAN UNDER THE EMPLOYMENT OF THE CONTRACTOR.
- 16. THE GENERAL CONTRACTOR SHALL INSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES TO PREVENT SENIOR CARE RESIDENCE FROM GAINING ACCESS.

### FURNISHINGS + EQUIPMENT SPECIFICATIONS :

GENERAL CONTRACTOR TO SUPPLY AND INSTALL THE FOLLOWING

1 1. TOLETS & TOLET SEATS

1.1. REMOVE AND DISCARD TWO (2) EXISTING TOILETS

1.2. INSTALL TWO (2) NEW WHITE ADA COMPLIANT 2-PEACE TOLETS; (OMNER SUPPLIED)

\* KOHLER-HIGHLINE CLASSIC COMPORT HEIGHT, 2-PEACE ELONGATED TOILET, 1,28 GPF (OR APPROVED

KCHLER/K-4688/CACHET ELONGATED TOILET SEAT

2 2. SHKS
2.1. REMOVE AND DISCARD THE TWO (2) EXISTING SINKS & FAUCETS

2.1. HISTAL THE (2) NEW WHITE ASA COUPLANT WALL WOUNTED SINKS & FAUCETS; (OWNER SUPPLED)

KCHLER-PINOR WALL-MAINTED SINK WITH 8-NCH CENTERS (OR APPROVED COUM.)

AMERICAN STANDARD-JOCEL'N, ZHANDLE, BINCH WIDESPREAD, HIGH ARC BATHROON FAUCET (OR

APPROVED EQUAL)

3. GRAB BARS
3.1. INSTALL TWO 42"-48" GRAB BARS ON THE WALLS OF THE EXISTING TOLET STALL AND ONE 24" AT THE BACK OF THE STALL PROPERTY (OWNER SUPPLED)

• GRAB BAR DUMINETS (OR CROSS SECTION IF NON CIPCULAR) OF 1-1/4 TO 2" INCHES AND A CLEARNICE OF 1-1/2" BETWEEN THE GRAB BAR AND THE WALL

• FINISH — BRUSH METAL

. 42"-48" GRAD BAPS

\* 24" GRAB BAR \* 18" VERTICAL GRAB BAR

4. STAINLESS STEEL AREA DRAIN 4.1 6" AREA DRAIN (ADJUSTABLE TOP)
4.2 PERFORATED LIGHT CUTY 12 QUAGE GRATE

5. MARROR
5.1. STAINLESS STEEL CHANNEL FRAME
5.2. CONCEALED WALL HANGERS
5.3. 24°W X 30°H (OVERALL SKE)

OWNER TO SUPPLY AND INSTALL THE FOLLOWING

I. PAPER TOWEL DISPENSER:

2 TOWER DISSUE DISPENSED

1 CANTADY HADION DISCOUNCED.

4 SOAP DISPENSER:

\*THE GENERAL CONTRACTOR IS TO SUPPLY ALL SPECIFIED ITEMS OR APPROVED EQUAL

## DOOR SCHEDULE:

- (tu) 000R 01
  - I. REINSTALLED EXISTING LATCHES, FIXTURES AND HARDWARE ARE TO BE CLEANED/POUSHED
- 2. APPLY SENI-GLOSS ALKYD EHAMEL PAINT NEW. (2) COATS COVER
- DOOR 02:
  - SUPPLY AND INSTALL NEW SOLID CORE WOOD DOOR TO FIT WITHIN EXISTING DOOR FRAME
  - 7. SUPPLY AND INSTALL NEW HARDWARF HINGES AND PASSACE LOCK SET.
  - 3. APPLY (1) COAT OF PRIMER/UNDERCOAT AND HINL. (2) COATS OF SEMI-GLOSS ALKYO ENAMEL PAINT TO THE NEW SOLID CORE WCOD DOOR/FRAME.
- DOOR D3:
- 1. APPLY MILE (2) COATS OF SEMI-GLOSS ALKYD FRAMEL PAINT TO THE DUSTING DOOR/FRAME
- 000R <u>94</u>:
- APPLY MIN. (2) COATS OF SEMI-GLOSS ALKYD ENAMEL PAINT TO THE EXISTING DOOR/FRANE
- 2. SUPPLY AND INSTALL NEW PASSAGE LOCK SET

			ROC	M FIN	ISH SCHEDUL	.E		
ROOM HAME	ROOM HAME ROOM & DENOTATION	DENOTATION	FLOOR	DEMOTATION	WALLS	CEILING		NOTES
Manuficulty (100% a) Distribution	0.01011111011	14000	Pariotribut	WALL	MATERIAL	HEIGHT	20123	
WASHROOM	101	(PTI)	PORCELAIN NON SUP FLOGR TILE; EPOXY GROUT	(CTI)	CTI: CERAMIC WALL TILE: VINYL EDGE STRIPS; EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIES	ALL EXPOSED WALLS TO BE PAINTED; WALL BEHIND SINK TO B TILED FROM FLOOR TO CEILING
WASHROOM	102	(PT)	PORCELAIN NON SUP FLOOR TILE: EPOXY GROUT	(CT)	CTI: CERANIC WALL TILE; VINYL EDGE STRIPS; EPOXY GROUT LINES;	(2) COATS OF PAINT	VARIES	ALL EXPOSED WALLS TO BE PAINTED: WALL BEHIND SINK TO B TILED FROM FLOOR TO CENLING
CORRIDOR	163	PTI	PORCELAIN NON SUP FLOOR TILE: EPOXY GROUT; METAL TRANSITION STRIPS		PRIMER AND PARKE	(2) COATS	VARIFS	ALL EXPOSED WALLS TO BE PAINT

1) STANDARD TILE LAYOUT PATTERN TO INCORPORATE & GROUT LINES (FLOOR/WALL)

2) FLOOR MEMBRANE - DITRA SCHLUTER MEMBRANE

3) INSTALL NEW PORCEIJAN THE (THE LAYOUT SHALL BE SYSMMETRICAL, BEGINNING AT THE CORNER AXES OF THE SPACE) WITH & STRAIGHT & EVEN GROUT LINES; THIN-SET ADHESIVE AND GROUT SHALL BE PER MAINFACTURERS SPECIFICATIONS FOR AREAS EXPOSED TO WATER

4) METAL TRANSITION STRIPS - NO MORE THAN I" HEIGHT DIFFERENCE FOR FINISH FLOOR HEIGHTS

5) WALL TILE TO TERMINIATE 52" ABOVE THE FINISH FLOOR WERE SPECIFIED 6) APPLY PRIMER AND PAINT ON ALL EXPOSED WALLS UNLESS OTHERWISE SPECIFIED

8) WALL PAINT - SHERWIN WILLIAMS, HARMONY INTERIOR LATEX - SENIOR LIVING COLOR (OR APPROVED EDUAL); EGG SHELL FINISH; COLOR TO BE DETERMINED

9) CEILING PAINT - ROLL-A-TEX (FINE) OR SANDTEX WHITE (OR APPROVED EQUAL)

### MINISTRY OF **PUBLIC WORKS**

ARCHITECTS SECTION

P.O. Box HM 525 Hamilton HMCX Bernands Tel: (441) 295-5151





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ISSUE / REVISION

Project Title WASHROOM REFURBISHMENT OVE (AREA-A) MAY 1 6 2016 LEFROY BOUSE CARE COMMUNITY PULLAND ESTAND SOUTH

TREYDON ROAD, FLOOR PLANS



Project Number:

J&217.57

